

INTERNAL FINISHES



Painting &
Decoration



Timber
Finishes



Shrinkage



Cupboards, Wardrobes /
Fitted Furniture



Airing Cupboards



Ceramic Tiling



Mastic & Sealing



Drainage



Bathroom Fitting



Kitchen Fittings



Electrical Finishes



Loft



Apartments

PAINTING & DECORATION

PAINTWORK FINISHES

- 1 Painting and decorating must be complete and evenly applied, free from runs or prominent brush marks, and the background or undercoat must not be visible.
- 2 Where plaster and skim coat is applied to plasterboard:
 - surfaces must be visibly sound, without signs of powdering or crumbling
 - joints must be completed and cracks, nail holes and surface imperfections filled.
- 3 Where plaster and skim coat is applied to plasterboard:
 - the surface must be rubbed down and dusted, where necessary
 - surfaces must be stabilised, with a coat of thinned paint (10%) or with a sealant / primer
 - a minimum of two coats of paint must be applied.



Must be inspected

in daylight and from a minimum distance of **1.5m** not by shining light on the surface. The CRM should take special attention to areas where floor, table lamps or downlighters might be present.

Have you checked...



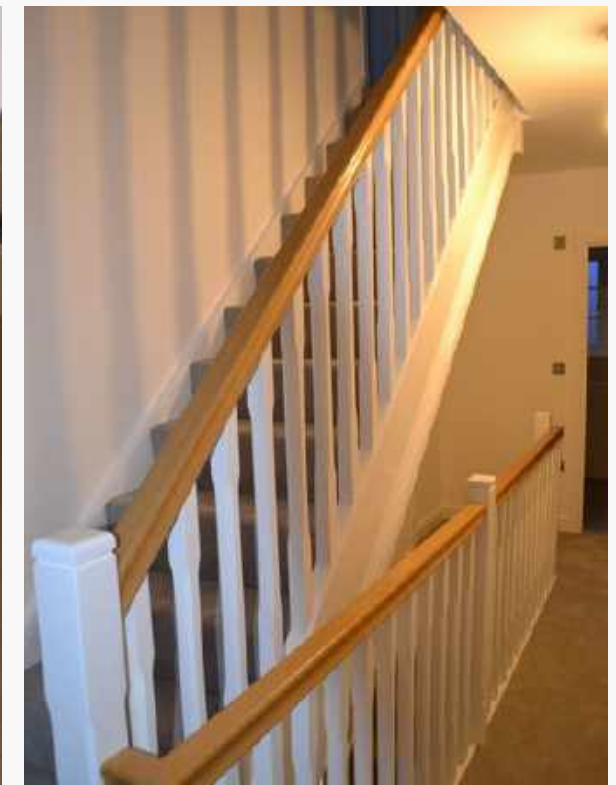
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✓ PAI: 134, 138, 149, 150, 154, 165, 169

PAINTING & DECORATION

MULTIPLE SURFACES

- 1 Non-ferrous pipework (e.g. copper pipes) must be painted with the normal decorative finishes or cleaned to remove paint splashes and excess flux.
- 2 Painting and decorating must be complete and surfaces that are not intended to be painted must be free of paint marks (light pendants, all sockets, ironmongery, UPVC windows, kitchen fittings etc.)



Must be inspected

in daylight and from a minimum distance of **1.5m** not by shining light on the surface. The CRM should take special attention to areas where floor, table lamps or downlighters might be present.

Have you checked...



✓ PAI: 143, 174, 209

75

PAINTING & DECORATION

TIMBER PAINTWORK / VARNISH FINISHES

- 1 Varnish must be applied with a minimum of three coats on interior surfaces. On exterior surfaces, varnish must be suitable for the conditions (yacht or high gloss) and applied with a minimum of four coats. Surfaces must be sanded between coats.
- 2 Painted and varnished surfaces must be even in appearance and free from runs and prominent brush marks.
- 3 Timber surfaces may show limited raised grain, and the colour and texture may also vary.
- 4 Resin is likely to exude from knots, causing discoloration of paintwork, even though modern primers contain a compound to limit this.
- 5 All painted timber surfaces must be smooth to the touch and finished to a high standard.



Must be inspected

in daylight and from a minimum distance of **1.5m** not by shining light on the surface.



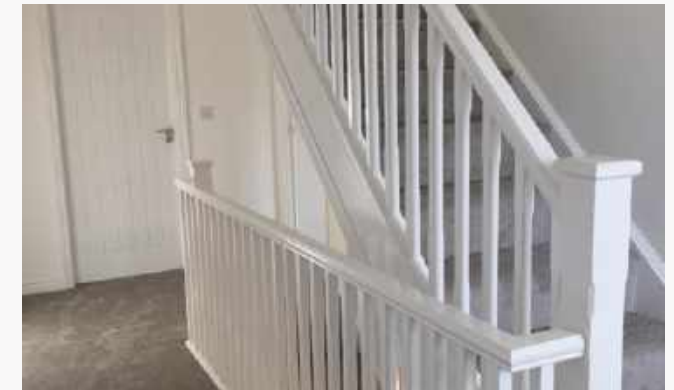
Have you checked...

✓ DINT: 161, 213 ✓ PAI: 133, 149

TIMBER FINISHES

JOINERY

- 1 Joinery and the materials used must have no visible defects after the finish has been applied.



TRIM & FINISHES

- 1 When fixing trim and component nails must be punched below the surface of timber and holes filled.

Trim and finishes must be:

- sufficiently wide to mask joints around built in fittings, etc. allowing for movement and shrinkage.



Have you checked...

✓ DEXT: 102 ✓ GEN: 129-132 ✓ PAI: 133





SHRINKAGE

TIMBER PAINTWORK / VARNISH FINISHES

- 1 As homes are lived in and heated, timber and other materials will shrink and this can cause small cracks on the wall and ceiling finishes. Small cracks or gaps may also appear at joints and corners of skirting boards and other interior joinery.
- 2 Shrinkage may occur between Customer Ready and handover. However, before legal completion all shrinkage must be addressed.
- 3 Gaps between the floor finish and the skirting, and joints at corners may appear due to shrinkage, drying out and / or deflection.
- 4 The effects of normal drying shrinkage on screeded floors may cause minor cracking. Timber floors and staircases naturally shrink as they dry. As this drying occurs, it may result in squeaking components as they move against each other. This is normal and to be expected.



Did you know?

Cracks, up to 2mm (2p coin) wide, may be evident due to thermal movement and shrinkage. These cracks are not structurally significant and can be put right by the home owner in the normal process of redecoration.



CUPBOARDS, WARDROBES, SURFACES & FITTED FURNITURE

- 1 Cupboards, worktops and fitments must be plumb, level and scribed to wall faces, where necessary.
- 2 Cupboards and wardrobes (including wall-hung units) must be:
 - installed ensuring that drawers or doors run smoothly, and locks and catches properly engage
 - securely fixed, using fixings of an appropriate size, and in accordance with the manufacturer's instructions (Generally, plugs and screws to masonry and screws to timber)
 - securely fixed, using the predrilled holes in units and brackets provided by the manufacturer.
- 3 Wardrobes must be fitted with hanging rails, and intermediate supports used where necessary to avoid bending.
 - have no abrasions or scratches on factory-finished components.
- 4 Internal cupboard finishes must have the same wall finish as the rest of the room.
- 5 Door and drawers must be uniform.
- 6 Fitted furniture, including doors and drawers, must:
 - be visually aligned (vertically, horizontally and in plan), and there must not be any differences in level at the intersection of adjacent worktops
 - have uniform gaps between adjacent doors and / or drawers where appropriate
- 7 Conspicuous surface abrasions caused during installation must be removed in accordance with the manufacturer's recommendations which may include filling, polishing out, re-spraying or painting as appropriate.



Must be inspected

in daylight from a distance of **0.5m**.

Have you checked...



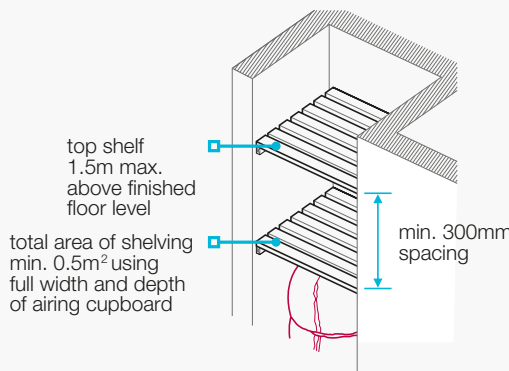
✓ CAR: 266

✓ DINT: 533

✓ KIT: 529-531

AIRING CUPBOARDS

- 1 Airing cupboards must be separated from other storage.
- 2 Shelves must be fitted, if applicable, into airing cupboards and be a min of 0.5m² as shown in diagram below.
- 3 Flooring must be complete and tidy.



RE-PRESSURISING CYLINDER SYSTEM

- 1 The pressure for the cylinder must be between 1 and 2 bar, as displayed on the pressure gauge. If the pressure drops below 1 bar, then the system will need to be re-pressurised.
- 2 To do this, locate the 'filling loop'. This is the silver coloured flexi-pipe located at the front of the water cylinder.
- 3 At either side of the filling loop, there is either a black tap or an isolator valve.
- 4 Open up both black taps / isolator valves by turning them 90 degrees.
- 5 Once both black taps / isolator valves are open, the pressure gauge should start to increase. Both taps can be closed once the system reaches 1.5 bar. The system is now re-pressurised.
- 6 Please check manufacturer's detail as cylinder type may differ slightly.



Have you checked...

✓ VARIOUS: 178-195



AIRING CUPBOARDS

- 1 Boiler must be fully labelled.
- 2 All pipes must be neat and insulated.
- 3 Boiler must be fitted and signed by the installer.



RE-PRESSURISING A COMBI BOILER

- 1 The pressure for a combi boiler must be between 1 and 2 bar, as displayed on the pressure gauge. If the pressure drops below 1 bar then the pressure is too low and must be re-pressurised.
- 2 To do this, there is a blue tap located underneath the boiler. Open a tap by turning it 90 degrees.
- 3 The dial on the pressure gauge will start to increase. Both taps can be closed once the dial reaches 1.5 bar as the system is now re-pressurised.



Have you checked...

✓ GEN: 14, 194 ✓ PLU: 561



CERAMIC WALL TILING

- 1 Tiling must be appropriate for their location and intended use. When specifying tiles, consideration must be given to surface finish, size and thickness, colour, edge shape, fittings and accessories.
- 2 Tiling courses must be straight and square and even to form a plane and regular surface, especially around fittings and fixtures.
- 3 Tiling joints must be even and cut neatly.
- 4 Tiling up to sanitary fittings and fixings must be in accordance with the design and must account for movement.
- 5 Tiling must be pre-planned and set out to be aesthetically pleasing, with all tiles aligning or a feature tile well displayed.
- 6 Certain tiles may result in a protruding edge due to their decorative nature. This will have been selected at customer options and previous experience must flag this potential issue, therefore this finish is down to BU discretion.
- 7 Correct colour sealant to be used with the appropriate tile option.
- 8 Excess grout is to be removed from tiles.



Have you checked...



CERAMIC TILING

CERAMIC, CONCRETE, TERRAZZO AND SIMILAR TILE FINISHES

- 1 The variation between tiles and adjacent surfaces must be within 1mm deviation for joints less than 6mm wide and 2mm deviation for joints more than 6mm wide.
- 2 Joints must be straight and in alignment, unless the tiles are, by design, irregular in shape.
- 3 Wall tile joints must be a minimum of 1mm.
- 4 Floor tile joints must be a minimum of 3mm, unless otherwise specified by the manufacturer.
- 5 Joints in floor tiles must generally not exceed the tile thickness, although wider joints up to 10mm may be necessary to accommodate dimensional irregularities in some tiles.
- 6 Appropriately designed movement joints must be: built into tiling at centres at a maximum of 4.5m vertically and horizontally; provided at vertical corners in large tiled areas; 1-2mm where tiles are without spacer lugs.
- 7 Must limit the effect of dimensional irregularities. Joints must be 'evened out' to maintain a regular appearance.
- 8 The variation in surface level must be within $\pm 3\text{mm}$ measured using a 2m straight edge with equal offsets.
- 9 Correct colour sealant to be used with appropriate tile option and Sales will have discussed this with the customer at their option choices meeting.

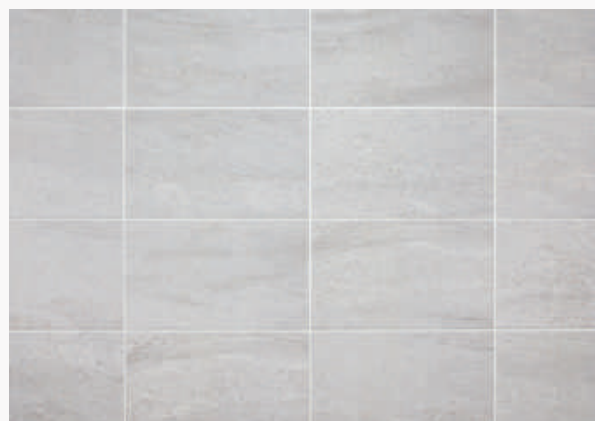


Have you checked...



CERAMIC FLOOR TILING

- 1 Tile finishes must be:
 - level and smooth, particularly at doorways and junctions
 - fitted with skirting, coves, cover strips and other preformed components, where required, and in accordance with the manufacturer's recommendations.
- 2 When installing flexible sheet or tile flooring, it must be cut so that it fits neatly around fittings, pipes, etc.
- 3 Flooring and any patterns square with wall.
- 4 Grout must be even in colour and clean from dust and debris. Any excess grout must be removed from tiles.
- 5 Tiling spacing must be sufficient to allow for expansion.
- 6 Floors must be:
 - level within 2-4mm deviation per 1m for floors up to 6m across.
 - a maximum of 25mm out of level for floors over 6m across.



Have you checked...

✓ FLO: 144, 160 ✓ WAL: 232, 233

MASTIC & SEALING

- 1 Sealant must be tooled to remove blisters and irregularities and achieve a compact, smooth neat surface finish.
- 2 External masonry wall sealant must be a minimum of 10mm deep to ensure a good bond. Where the joint is in a freestanding wall, the filler will require sealant at:
 - both exposed edges
 - the top, where the joint is carried through any coping.
- 3 Mastic is to be clean and tidy around any windows fitted ensuring end caps are fitted.



Must be inspected

Joints must be inspected in daylight and from a minimum distance of **1.5m**



Have you checked...

✓ MAS: 64, 87, 97, 238



DRAINAGE

- 1 Ensure that the home is draining effectively by filling the bath, running the shower and flushing the toilet.
- 2 Please note any slow drainage, gurgling or water backing up into showers following this test.
- 3 Site must be informed of any drainage issues so it can be rectified prior to move in.



Have you checked...

✓ DRA: 40, 347



BATHROOM FITTING

- 1 Basin taps and pedestal are to be clean, level / plumb and fixed securely with any pipes hidden.
- 2 Any entry points of pipes, wastes and fittings are to be sealed and complete to give a tidy finish.
- 3 Shower screen must be clean, securely fixed to wall and silicone sealant in place.
- 4 Bathroom sanitaryware is to be installed to manufacturers recommendations. All pipes must be capped with collars or a joint sealant finish.



Must be inspected

in daylight at a minimum distance of **0.5m** not by shining light on the surface.

Have you checked...

✓ BAT: 226, 227, 231, 234, 235, 237, 240, 241, 243-248*

KITCHEN FITTING

- 1 Kitchen is to be tidy and completed to the standard set by the manufacturers drawings. The inspection must allow for more time in these key areas of the property to ensure it is to the standard we expect to hand over a Taylor Wimpey home to our customers.
- 2 Under-unit lights working with any cables hidden; ensuring cables above the kitchen unit are also out of sight.
- 3 Pipes and waste fittings are sealed and tidy with under sink shelf in place as shown. Taylor Wimpey standard manufacturers labelling must be attached under the sink.
- 4 Entry point of boiler flue is to be sealed, complete and pipe work concealed within the boiler housing.
- 5 Worktops are to be clean, scratch free, level, and undamaged with any joints neatly sealed and tidy.
- 6 Any up stands or tiling are complete to a high standard, sealed and securely fixed to the wall.
- 7 Sink must be clean, scratch free and undamaged. The hot and cold water must be checked and water run to the overflow and tested.
- 8 Doors and drawers are to be securely fitted, clean, undamaged and margins equal throughout the kitchen.
- 9 Plinths fitted are to be clean, scratch free and fitted neatly into corners.
- 10 All white goods to have commissioning certificates, full cycle run and tested.
- 11 Ensure all appliance components are present i.e. oven shelves in oven, salad trays and shelves in fridge.



Must be inspected

in daylight at a minimum distance of **0.5m** not by shining light on the surface.



Have you checked...

- ✓ DINT: 533 ✓ ELE: 511-513, 538, 539 ✓ KIT: 520, 526, 529-531, 534-536, 541
✓ MAS: 525, 527, 528 ✓ PLU: 540

ELECTRICAL FINISHES

SMOKE ALARM

- 1 Smoke alarms need to be provided with a standby power supply.
- 2 Smoke alarms must be a minimum of 300mm away from another smoke alarm, heat source or lights.
- 3 Remove any build up of dust and grime with a damp cloth or a vacuum cleaner nozzle.
- 4 Please refer to manufacturers and designers guidance for positioning of smoke alarms and carbon monoxide alarms.

APPLIANCES

- 1 Ensure all appliances are fully powered up before final finishing of the kitchen, to prevent damaging to the kitchen units for remedial works.
- 2 Ensure all completed homes have instructions for all systems and appliances.

FITTINGS

- 1 Where there are two or more adjacent sockets, switch or service outlets, they must be aligned horizontally.



Have you checked...

- ✓ ELE: 31 ✓ GEN: 22 ✓ PLU: 37 ✓ WHI: 26, 27, 29, 30



LOFT

- 1

Insulation is to be complete and laid evenly across the whole area of the loft with adequate ventilation.
- 2

Ensure TV cables are visible above the loft insulation and are located next to the loft hatch.
- 3

If visible from the loft hatch inspect that fan ducts are connected and complete.
- 4

Roofing felt is to be complete and free from any defects, such as tearing and missing sections, ensuring adequate ridge ventilation if applicable.
- 5

Ensure that the air admittance valve (AAV) on the soil vent pipe is securely fastened and present.



Have you checked...

APARTMENTS

COMMUNAL AREAS

- 1

On complex projects the Complex Project OF should be referred to. If a phased occupation strategy is being considered, a clear segregation between customers and contractors must be agreed and a strategy agreed between all departments.
- 2

Consultation with the local authority and fire consultants is required and a Fire Risk Assessments must have been carried out for the communal areas prior to the first occupation.
- 3

Particular attention needs to be paid to the following, ensuring that the commissioning certificates are available prior to the communal core being handed over:
 - Door entry system
 - AOV's
 - Lifts
 - Dry risers
 - Sprinkler systems
 - Lightening protection
 - Satellite / cable aerials.
- 4

Block signage, directional signage, communal courtyards, post boxes and refuse / recycling bins need to be in place before the communal area is classified as Customer Ready.
- 5

The first occupation cannot take place until the communal lobby and each floor to the flat is fully completed and to the same standard as HQI Customer Ready.
- 6

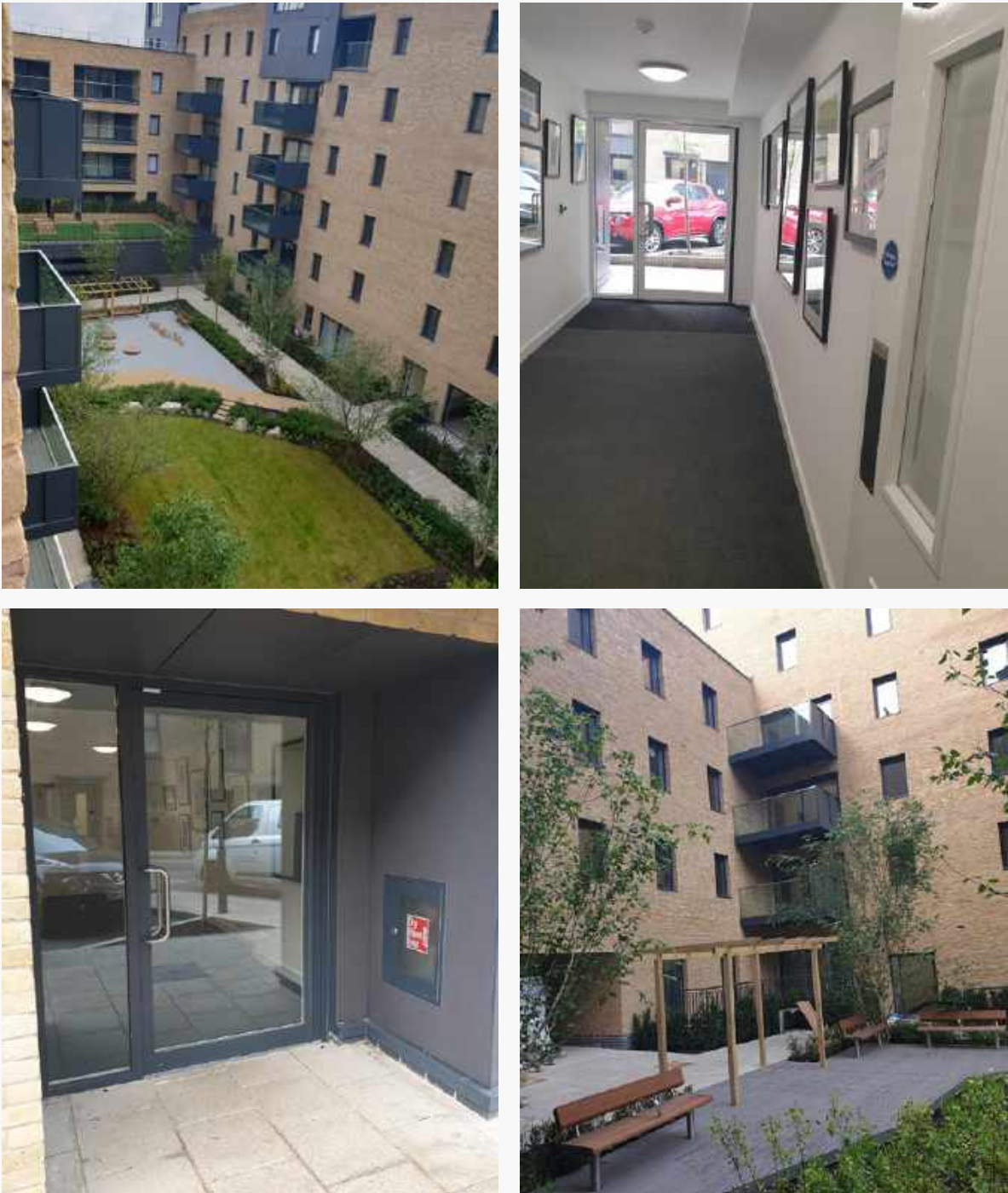
Management Company handover is to take place as soon as practically possible after the 1st occupation and details of meter readings, fob access etc. must be recorded accurately to allow the transfer of the relevant accounts for services.



Have you checked...

APARTMENTS

COMMUNAL AREAS



Have you checked...

