

Performance and strategy continued

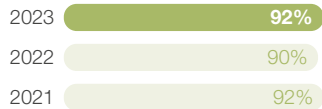


# Sustainability

Investing to protect long term value for all stakeholders, prepare for regulatory change, continue to develop sustainable communities and play our part in limiting climate change.

## Key performance indicators

### Customer satisfaction 8-week score 'Would you recommend?'



**i** 2023 remuneration measure. Read more on [page 143](#)

#### Objective

We strive to achieve 90% or above in this question, which equates to a five-star rating.

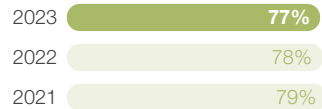
#### Definition

Percentage of customers who would recommend Taylor Wimpey to a friend as measured by the National New Homes Survey undertaken by the NHBC on behalf of the HBF eight weeks after legal completion.

#### Why it is key to our strategy

Identifying and serving the needs of our customers by delivering a high-quality product is key to our ambition to become a customer-focused homebuilder.

### Customer satisfaction 9-month score 'Would you recommend?'



#### Objective

We strive to improve this score and to understand the reasons behind (and underlying drivers) of this customer feedback.

#### Definition

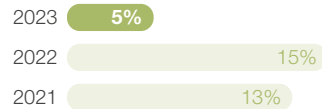
Percentage of customers who would recommend Taylor Wimpey to a friend as measured by the National New Homes Survey undertaken by the NHBC nine months after legal completion.

#### Why it is key to our strategy

We think about how customers live in the homes and places we build for longer than the first few months after they move in. Ensuring our customer satisfaction remains high in the months following completion is important.

### Reduction in operational carbon emissions intensity

(measured at end of year)



**i** 2023 remuneration measure. Read more on [page 143](#)

#### Objective

Reduce operational carbon emissions intensity by 36% by 2025 from a 2019 baseline.

#### Definition

Our science-based carbon reduction target for scopes 1 and 2 emissions intensity tracks tonnes of emissions per 100 square metres of completed build. The target has been verified by the Science Based Targets initiative, and the data assured by the Carbon Trust.

#### Why it is key to our strategy

These are the emissions directly from our own business operations and as such are an indicator of our own performance and commitment.

## 2023 highlights

- Rated five-star for customer service in the Home Builders Federation (HBF) survey
- Published our Net Zero Transition Plan to reach net zero carbon emissions across our value chain by 2045, ahead of regulation
- Delivered the UK's first zero carbon ready scheme on a live site at Sudbury, including industry leading interactive models which will help communicate the benefits of the new technology to customers and sharing best practice with industry and SMEs
- Net zero targets independently validated by the Science Based Targets initiative and achieved certification to the Carbon Trust's Route to Net Zero Standard, Advancing level

## Priorities going forward

### Short term

- Continue to invest in the long term sustainability of the business including training our highly engaged employees
- Continue to prioritise value over volume and seek to increase volumes where market conditions allow in a value enhancing way

### Medium term

- Investing to protect long term value for all stakeholders
- Further progress on our path to net zero



### Cultivating biodiversity

We integrate hedgehog highways and bug hotels or bee bricks on new sites



**i** Read more on [page 52](#)



### Interactive models

Helping to communicate the benefits of new technologies to customers





## Performance and strategy continued



### Sustainability

#### Strategic cornerstone in action



#### An industry first

Taylor Wimpey installed the UK's first roof mounted air source heat pump on a live development site



Scan to hear more about our trial homes at Sudbury

#### Developing net zero ready homes with our Sudbury prototypes

The Future Homes Standard (FHS), is due to take effect in England from 2025 (with associated transitional arrangements). We expect the FHS to require a 75-80% reduction in carbon emissions from new homes. In Scotland, the New Build Heat Standard is being introduced in April 2024.

This will represent a step change in the way we build as well as the way customers live, with the key requirement to move from gas central heating and hot water to all electric homes.

#### Learning valuable lessons from the trials

In 2023, we completed our zero carbon ready homes trial at our Chilton Woods development in Sudbury, Suffolk. Zero carbon ready means the homes should be net zero in use once the UK energy grid is decarbonised.

The launch of the prototypes was a major milestone. The trial, comprising five multi-specification prototype homes, was the industry's first research concept testing low carbon technologies on a live development site.

The homes have allowed us to review construction methodologies, determine the design and technical implications of integrating into Taylor Wimpey homes, review the skills required to install the new technologies and share lessons learnt across the business.

The trials will continue once the homes are sold, allowing us to measure performance of the new technologies, obtain customer feedback enabling us to optimise our approach, and refine our approach ahead of and in response to final regulation.

We tested a combination of fabric and technology solutions to achieve zero carbon ready homes, designed to ensure they meet customers' living requirements.

In developing these homes, we adopted a 'fabric first' approach to raise the energy performance (addressing walls structure, doors, windows, insulation). Technology will continue to evolve, while the fabric will be there for the lifespan of the homes. Fabric enhancements include triple glazed windows, wider cavity walls to allow for greater thermal insulation and thermal lintels.

The five prototypes each tested different technology combinations such as air source heat pumps, underfloor heating, infrared panels, solar panels, battery storage and mechanical ventilation and heat recovery.

#### Preparing for the change

While innovative, these combinations are generally well established technologies that are widely used globally, so are relatively low risk. However, there remain significant educational challenges in terms of the supply, installation and importantly, customer readiness for these new solutions.

Apart from one home deliberately designed to push the boundaries of what is possible, the homes were completed within budget, including the costs to meet changes in line with updates to the building regulations that came into place in June 2023. We factor these costs into the residual value calculations when we make land acquisitions.

We are pleased these trials successfully delivered homes capable of meeting zero carbon ready status, within budget and well ahead of regulation.