

CONSISTENT QUALITY APPROACH GUIDE



WELCOME TO OUR

CONSISTENT QUALITY APPROACH GUIDE

This guide explains the Taylor Wimpey standards expected prior, during and after construction. We also share this information with our suppliers and contractors, to ensure that our standards are communicated to all involved in the build of your home.

The Consistent Quality Approach (CQA) is the set of home quality standards we have adopted across all of our UK developments.








We are committed to being transparent and delivering a high quality standard to each of our customers. This means that your home will be constructed to specification, with all options and extras fitted as expected, that the approach to your home and surrounding area is safe and that on the day you move in, your home will be clean and ready for you to enjoy and live in safely.

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-  WWHR Waste Water Heat Recovery
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-  Solar panels



GENERAL



Street Scene



Home
Warranty Box

STREET SCENE



1

There shall be no open excavations, pot holes or groundwork's undertaken within the home boundary or the customers approach to the home. In the exceptional circumstances that excavations are required, appropriate safety measures, such as fencing and signage must be in place.

There shall be no health and safety risks to occupying customers now or in the future. All paths, roads and open areas in which the customer can use must be checked with safety measures in place.

2

There shall be no scaffolding opposite the home, a home's distance adjacent and/or within the plot boundary now or in the future.

In exceptional circumstances, such as at the end of a phase or the homes opposite an apartment block, permanent hoarding must be in place around the scaffolding. This will minimise the possibility of scaffolding being near occupying homes.

3

The general environment of the development shall be suitable for the use of occupying customers. Please remember that whilst the home is finished, there may be areas of the site that are still under construction.

We have taken all the necessary measures to ensure you remain safe, but we advise you to still be vigilant.

4

There is a responsibility and duty of care for occupants to have street lighting where it is due to be in place. If it is not possible for the permanent street lighting to be in place, temporary lighting will be in position.

STREET SCENE

5

The minimum standard is for footpaths to be at base layer with no trip hazards.

6

The minimum standard is for roads to be at base layer with no trip hazards.

7

Street signs must be in place. If it is not possible for the permanent signage to be in place, temporary signage must be in position.

HOME WARRANTY BOX

WHEN YOU MOVE IN TO YOUR NEW HOME WE WILL PROVIDE YOU WITH A HOME WARRANTY BOX. YOU WILL FIND THE FOLLOWING ITEMS INSIDE:

1

EPC certificate

2

Electrical certificate

3

Air tightness certificate

4

Ventilation / Fan certificate

5

Part L 2021 Photo Evidence Customer Report*

6

Sustainability certificate**

7

Fire Door installation Certificate

8

Copy of appliance serial number(s)

9

All keys except one front door

10

Communal entry keys / fobs and management company info**

11

All appliances warranties

12

Boiler and cylinder instruction (inc sign off)**

13

Shower and shower screen instruction(s) and warranties

14

Electrolux info – cleaning stainless steel**

15

Condensation in homes info

16

Gas and electric box key

17

Toilet seat tightener(s)

18

Window keys

19

Any commissioning (heating, boilers etc)**

20

Smoke / heat detector and CO monitor instructions

21

Garage – keys / warranties / instructions**

22

Amtico flooring / granite worktop instructions and cleaner**

23

Any other information / important notices

* applicable only to homes built under Part L 2021 regulations (England and Wales)

** if applicable



EXTERNAL WORKS



DPC &
Ground Level



Driveway
& Paths



Guarding
& Steps



Access



Gardens
& Drainage



Fencing

DAMP PROOF COURSE (DPC) & GROUND LEVEL

- 1 Air bricks are for ventilating voids underneath floors.
- 2 These shall be damage free and placed in between brick spacing.
- 3 These shall be placed in accordance with design to the bonding of the brick and must be placed to avoid conflict with level access points.
- 4 Finished ground levels must taper away from level access to 150mm below DPC as quickly as possible.
- 5 Weep holes should be present either side and above the air brick.



DRIVEWAY & PATHS

- 1 Drives, paths, decks, terraces and balconies shall be designed and constructed to minimise the potential for standing water.
- 2 Cambers and falls into localised gulleys / channels are acceptable. Drives, paths, decks, terraces and balconies should be constructed in accordance with design.
- 3 One hour after rain has stopped, areas of temporary standing water shall not be deeper than 5mm or exceed 1m². Temporary standing water is not permitted adjacent to entrance doors.
- 4 Private roads, shared private drives and private drives shall have appropriate rainwater drainage and disposal.
- 5 Paved areas shall have surfaces with adequate falls, cross-falls and drainage to ensure that surface water is suitably drained.
- 6 Paved areas shall drain away from the home (and garage), or drain to a channel or other suitable means of collection and disposal adjacent to the home.
- 7 Where paving slabs are laid abutting drainage channels and gully grates, etc. the upper surface of the paving slab shall be set approximately 5mm above the grating.



GUARDING & STEPS

- 1 Guarding shall be provided where a retaining structure is more than 600mm high and the dimension from the top of the retaining wall to the higher ground level is less than 300mm.
- 2 The guarding shall:
 - be a minimum of 1100mm high
 - not allow a 100mm diameter sphere to pass through.
- 3 A handrail shall be provided where the total rise of a flight of garden steps is more than 600mm and the going of individual steps is less than 600mm.
- 4 External steps that are considered under building regulations:
 - shall have a maximum rise of 150mm and a minimum going of 210mm
 - shall be reasonably uniform.



ACCESS

- 1 The approach route is to be level, gently sloping, ramped or where stepped.
- 2 All external parts of the approach route have a suitable ground surface.
- 3 Access is provided to the property and facilities at all times.



GARDENS

- 1 Subsoil must not be placed over topsoil. Construction rubbish and debris must be removed from the garden and other areas around the home. Compacted sub soil must be broken up before adding top soil.
- 2 There must be a minimum of 100mm of topsoil.
- 3 Access is not required to small isolated garden areas, such as narrow strips of land at the top or bottom of retaining walls, but must be provided to other areas where appropriate by steps or other suitable means.
- 4 Small areas without sunlight must be gravel not turf e.g. areas to the side of a property (construction spec to tie into scope of works).





DRAINAGE

- 1 Land drainage strips are to be in place where applicable and drainage is in accordance with design.



FENCING

- 1 Boundary walls, fences and gates are to be in place. Check fixing of boards, that the fence is level and gate is operational.

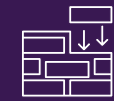




EXTERNAL WALLS & FINISHES



Externals



Fairfaced
Masonry



Render



Cavity Trays



Curtain Walling
and Cladding



Roof



Garages



EXTERNALS

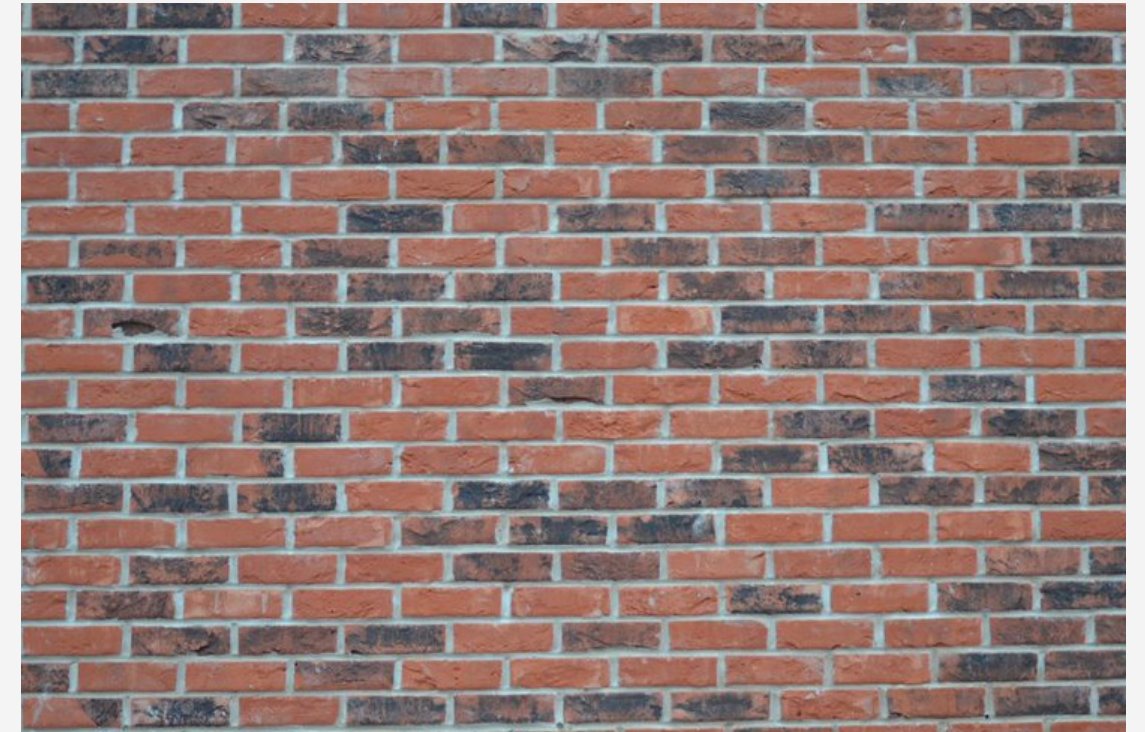
- 1 Soffits, fascias, gutters and down pipes shall be complete, level and clipped.
- 2 Gas and Electric Meter Boxes shall be clean, undamaged, securely fixed and sealed.
- 3 Boiler flue shall be clean, tidy and sealed.
- 4 Expansion joints to the full property including boundary walls shall be filled neatly and clean.



FAIRFACED MASONRY

BRICKS

- 1 Walls shall be uniform and consistent in texture, finish and colour including mortar.
- 2 Walls shall not have excessive colour banding or large patches of obvious brickwork of differing colour.
- 3 Walls shall not have significant cracks in the facing bricks or damage, such as chips and marks greater than 15mm in diameter.
- 4 Bricks shall be clean and free from mortar splashes.
- 5 Bricks shall be inspected in daylight and from a minimum distance of 8m. Please note that the texture of the brick may vary due to the type of brick used.



Must be inspected
in daylight and from a minimum distance of **8m**

FAIRFACED MASONRY

MORTAR

- 1 Allowance of some mortar blemishes on individual masonry units are acceptable, but shall be mostly uniform throughout.
- 2 Allowance of some variation in the texture, finish and colour of mortar, in individual masonry units and generally over the wall.
- 3 Adequately straight on plan, with a $\pm 5\text{mm}$ maximum deviation in any length of wall up to 5m.
- 4 A maximum of 8mm from plumb in any property storey height (3m).
- 5 A maximum of 8mm per storey but no more than 12mm overall for walls over 3m high.

BED JOINTS

- 1 The thickness of an individual bed joint shall not vary from the average of any eight successive joints by a maximum of $\pm 1.5\text{mm}$.

PERPEND JOINTS

- 1 Perpendicular joints must be 10mm on average and uniform throughout. Perpend joints should not cumulatively displace in the same direction for more than 5 joints.

FAIRFACED MASONRY

EFFLORESCENCE

- 1 A consequence of drying out may be the appearance of a white deposit on walls called 'efflorescence'. This is caused by natural salts coming out of the wall materials and is quite common, not harmful and generally disappears over time.
- 2 To reduce the risk of efflorescence, newly erected masonry must be covered. This also prevents the mortar being washed out of the joints by rain and stops masonry becoming saturated.



BRICK CORBELLING



- 1 Solid bricks must be used for corbelling. Bricks with cut out frogs (holes) are not appropriate for corbelling use.

EXPANSION JOINTS



- 1 Where possible, joints shall be hidden in corners, or behind rainwater pipes, and:
 - run the full height of the superstructure masonry wall
 - Continue from those provided in the substructure to the superstructure (movement joints may be needed in the superstructure and not in the substructure, providing suitable allowance is made for relative movement).
- 2 Movement joints must be included in long lengths of walling to reduce unsightly cracking, and detailed so that stability is maintained.
- 3 Dense block and brick = normal spacing 7.5m – 9m. External brickwork expansion joints = Normal spacing 12m (max. 15m).

RENDER

- 1 Render shall be consistent in texture, finish and colour.
- 2 Hairline cracks should be less than 1mm in depth and no more than 0.2mm wide.
- 3 Patching and other repairs in the render may be visible but shall not be unduly obtrusive.
- 4 Window and door openings shall follow the same tolerances as fairfaced masonry finishes.
- 5 Ensure manufacturers specification and design is followed, particularly for any reinforcement.



WEEP HOLES

- 1 Weep holes are added as required for ventilation to timber frame construction.
- 2 Weep holes are added to the last tray at stepped abutments.



CAVITY TRAYS

WEEP HOLES

- 1 Weep holes above windows and doors to be at every second brick / 450mm centres.
- 2 Weep holes may be required for every fourth brick / 900mm centres for base level. Check site specific details.
- 3 Weep holes should be installed at the bottom of the stepped trays.



LEAD WORK

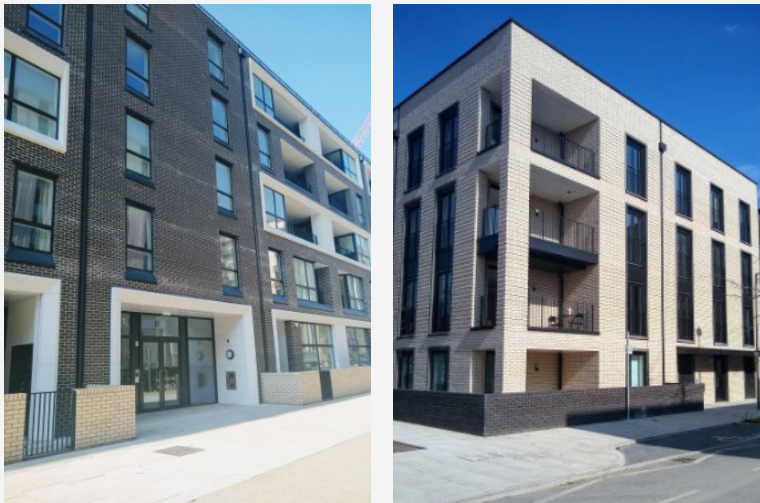
- 1 Stepped flashings shall be parallel with the roof line.
- 2 Lead work shall be coated with patination oil, which is a surface treatment that prevents lead carbonate from forming on the surface of Lead Sheet and ultimately helps prevent staining to adjacent materials.
- 3 The bottom cavity tray shall always have a weep hole, as this is the main catchment tray.
- 4 All flashing and lead work shall be finished neatly and to a consistent standard throughout the home.



CURTAIN WALLING AND CLADDING

CURTAIN WALLING

- 1 Curtain walling shall be within reasonable tolerances and appearance for the materials.



RAINSCREEN CLADDING

- 1 Cladding shall be within reasonable tolerances and appearance for the materials.



CURTAIN WALLING AND CLADDING

BRICK SLIP CLADDING

Brick slip cladding shall meet the following criteria:

- 1 Reasonable tolerances and an allowance for the appearance of the materials shall be made.
- 2 The cladding shall be uniform and consistent in colour including mortar.
- 3 It shall not have significant cracks in the facing bricks or damage, such as chips or marks greater than 15mm in diameter.
- 4 It shall not have excessive colour banding or large patches of obvious brickwork of differing colour.
- 5 Bricks shall be clean and free from mortar splashes.



TIMBER CLADDING

- 1 Variation in colour may occur in uncoated timber exposed to the weather, and the rate and extent may vary.
- 2 The effects of normal weathering may cause certain uncoated timber, over time, to develop a silver / grey colour.



ROOF

- 1 Roof tiles, ridges and roof vent tiles shall be complete with no cracked or slipped tiles.
- 2 Roof tiles shall not have excessive colour banding or large patches of obvious tiles of different colour.
- 3 Dry verge and ridges shall be fixed correctly and look straight and clean.



TILE HANGING

- 1 Panels shall be reasonably uniform in appearance, particularly in abutments, and may vary in colour and size depending on the manufacturing process.
- 2 Lead flashings and stop end details shall be present and formed neatly.



GARAGES

- 1 Garage doors shall be opened / closed and locks checked to ensure they are a good fit. The doors need a visual check to ensure that they are free from excess paint, rust and dents.
- 2 Garage floor shall be clean and reasonably level.
- 3 Light fittings, switches and sockets shall be clean, level and tested. Any conduit is to be level and clean. Exposed cables are to be clipped and level, giving a tidy finish.
- 4 Internal garage walls shall be complete with a smooth, level and clean finish. If the garage has exposed block / brick then any excess mortar shall be removed and brick work is to be tidy.
- 5 Garage ceiling and any coving shall be sealed, complete with a smooth finish and painted.
- 6 Consumer unit shall be level, lockable, clean and have the appropriate labeling in place if applicable.





WALLS & CEILINGS



Wall & Ceiling
Finishes



Window
Reveals

WALL & CEILING FINISHES

- 1** Walls and ceilings surfaces shall be reasonably uniform, although there may be minor textural differences around lights and other fittings.
- 2** Flatness of wall +/- 3mm deviation from a 2m straight edge.
- 3** There shall be no visible gaps between fittings and the surface (e.g. around switch plates).
- 4** Jointing tape shall be fully covered and unobtrusive in the finished surface.
- 5** Deviation in the level of ceiling finishes shall be a maximum of 3mm over 2m.
- 6** Any paint splashes shall be removed from light switches, sockets and fans.
- 7** For ceilings with a span of greater than 6m, allow a maximum tolerance of 20mm out of level.
- 8** Setting out of corners, duct casing, access covers and any associated framing shall be square, neat and tidy, and provided with an appropriate decorative finish.



WALL & CEILING FINISHES

BOARD JOINTS & TAPE

- 1** Jointing tape shall be fully covered and unobtrusive in the finished surface.
- 2** Joints between boards shall be neatly formed, flush, and suitably finished – and therefore not visible on a finished wall (as per manufacturers specifications).



NAIL/SCREW POPPING

- 1** All surfaces shall be smooth and free from nail holes, cracks and splits.
- 2** At internal inspection stage, nails or screws shall not be visible on plasterboard surface.
- 3** It is quite normal that these may become visible over time due to shrinkage occurring in your home.

WINDOW REVEALS

- 1 Tiled sills, in bathrooms for example, may be intentionally laid sloping away from the window.
- 2 Head and sill should be a maximum of 3mm out of level for openings up to 1.5m wide and 5mm maximum for openings over 1.5m wide.
- 3 There should be a maximum of no more than $\pm 5\text{mm}$ for reveals up to 250mm deep.
- 4 An allowance of 5mm out of plumb is acceptable for openings up to 1.5m high and 8mm out of plumb for openings over 1.5m high.
- 5 There should be a maximum deviation of $\pm 3\text{mm}$ along the length of sills and window boards.





WINDOWS & DOORS



Windows



Doors



WINDOWS

FOR ALL WINDOWS AND GLAZED DOORS

- 1** Sills and heads/lintels shall be undamaged and level.
- 2** All windows are to be operational and lock tested. They shall be undamaged and with all vents in place and working (if applicable).
- 3** The rebate channel shall be undamaged and free of debris.
- 4** Mastic is to be clean and tidy around any windows fitted ensuring end caps are fitted.
- 5** Bubbles, hairlines, minute particles or blisters are acceptable if not obtrusive or bunched.
- 6** Fine scratches less than **25mm** long are acceptable.
- 7** Optical defects such as smears etc between the glass is unacceptable.
- 8** Laminated glass is likely to have more blemishes due to it being made in several layers.



Must be inspected

in daylight, from a minimum distance of **2m** (or no less than **3m** if toughened, laminated or coated glass) and not by shining light on the surface.



DOORS

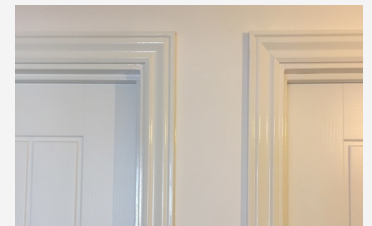
EXTERNAL DOORS

- 1** The door is to be fully operational, a good fit to the frame with all ironmongery free from damage. The paint work shall be finished to a high standard and consistent across the whole door.
- 2** The door threshold shall be level, be undamaged, and free from debris.
- 3** A draft excluder is fitted, free from paint and damage and fit for purpose.
- 4** All door furniture is to be in place and in working order. Lock mechanisms are to be fully operational, any spy holes free from scratches and all items are fitted on the level.



INTERNAL DOORS

- 1** All internal doors are to be fitted well and there is an even margin between the door and the frame.
- 2** All internal doors and fitments should be plumb, level and scribed to wall faces, where necessary.
- 3** Door stops are to be securely fixed in place.
- 4** All door furniture is to be securely fitted, fully operational and undamaged.
- 5** The minimum gap between the bottom of the door and the final floor finish shall be 10mm, and 22mm for an unfinished floor.
- 6** Fire doors should be fitted with required gaps to bottom of door as per manufacturer installation guidance.
- 7** Maximum threshold for fire doors is as per manufacturer installation instructions. Where there is no finished flooring installed, a hardwood threshold must be fitted.





FLOORING



Hard Floor
Finishes



Ceramic
Floor Tiling



Soft Floor
Finishes



HARD FLOOR FINISHES

SLAB FLOOR FINISHES

- 1

Floors over 6m across shall have a deviation of no more than 25mm.
- 2

Floors must be level within 3mm deviation per 1m up to 6m across.
- 3

Floors shall be flat within a +-5mm deviation, measured using a 2m straight edge with equal offsets.
- 4

Underfloor service ducts shall be constructed so that the cover is level with the adjacent floor finish.

TILED FLOOR FINISHES

- 1

Movement joints shall be:

 - provided around the floor perimeter and at rigid up stands, where tiled areas are wider than 2m
 - used to separate bays at 8-10m centres
- 2

Floors shall be level within 3mm deviation per 1m for floors up to 6m across.

 - a minimum of 3mm wide unless otherwise specified by the manufacturer.
- 3

The variation in surface level should be within ±3mm measured using a 2m straight edge with equal offsets the variation in surface level between adjacent tiles should be 1mm or less where the joint is up to 6mm wide, or 2mm or less where the joint is over 6mm wide.

TIMBER FLOOR FINISHES

- 1

Wood and wood-based flooring shall be installed ensuring that heating is kept on, before and during the floor laying.
- 2

Directly applied finishes shall be installed according to the specified pattern, and leaving gaps, as to manufacturers guidance, around the perimeter for movement.



CERAMIC FLOOR TILING

- 1

Tile finishes shall be:

 - level and smooth, particularly at doorways and junctions
 - fitted with skirting, coves, cover strips and other preformed components, where required, and in accordance with the manufacturer's recommendations.
- 2

When installing flexible sheet or tile flooring, it shall be cut so that it fits neatly around fittings, pipes, etc.
- 3

Flooring and any patterns shall be square with wall.
- 4

Grout shall be even in colour and clean from dust and debris.
- 5

Any excess grout shall be removed from tiles.
- 6

Tiling spacing shall be sufficient to allow for expansion.
- 7

Floors shall be:

 - Level within ±3mm deviation per 2m for floors up to 6m across.
 - A maximum of 25mm out of level for floors over 6m across.



SOFT FLOOR FINISHES

STAIRCASE FINISHES

- 1 The rise and going shall remain uniform after application of the staircase finish, including at the top and bottom of the flight.
- 2 Treads and risers shall be fixed with any nails removed and there shall be no movement or noises coming from the stairs as you apply pressure.
- 3 For communal stairs (e.g. in escape routes in blocks of flats), non-slip nosings or inserts shall be provided where specified.
- 4 Carpets shall only be glued or screwed to stairs.



CARPET FINISHES

- 1 Carpets, if applicable, shall be free from defects, fault lines, bobbles and sit neatly into corners.





INTERNAL FINISHES



Painting &
Decoration



Timber
Finishes



Shrinkage



Cupboards,
Wardrobes /
Fitted Furniture



Airing Cupboards



Ceramic Tiling



Mastic & Sealing



Drainage



Bathroom Fitting



Kitchen Fittings



Electrical Finishes



Loft

PAINTING & DECORATION

PAINTWORK FINISHES

- 1 Painting and decorating shall be complete and evenly applied, free from runs or prominent brush marks, and the background or undercoat must not be visible. —
- 2 Where plaster and skim coat is applied to plasterboard:
 - surfaces shall be visibly sound, without signs of powdering or crumbling
 - joints shall be completed and cracks, nail holes and surface imperfections filled. —
- 3 Where plaster and skim coat is applied to plasterboard:
 - the surface shall be rubbed down and dusted, where necessary
 - surfaces shall be stabilised, with a coat of thinned paint (10%) or with a sealant/primer
 - a minimum of two coats of paint must be applied. —



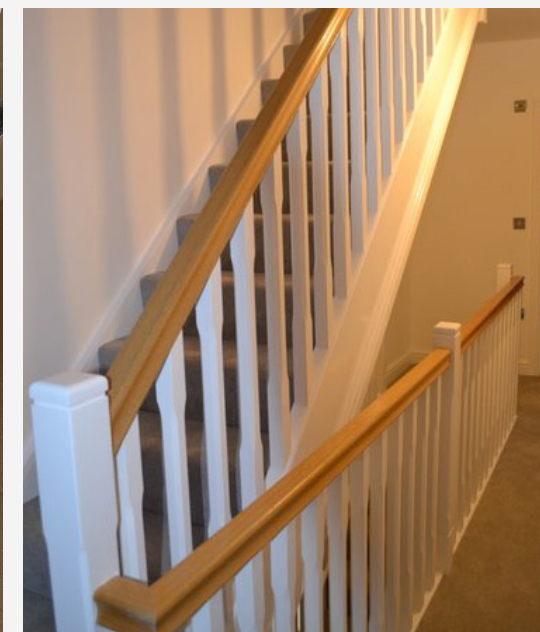
Must be inspected

in daylight, from a minimum distance of **2m** and not by shining light on the surface.

PAINTING & DECORATION

MULTIPLE SURFACES

- 1 Non-ferrous pipework (e.g. copper pipes) shall be painted with the normal decorative finishes or cleaned to remove paint splashes and excess flux. —
- 2 Painting and decorating shall be complete and surfaces that are not intended to be painted must be free of paint marks (light pendants, all sockets, ironmongery, UPVC windows, kitchen fittings etc.) —



Must be inspected

in daylight, from a minimum distance of **2m** and not by shining light on the surface.

PAINTING & DECORATION

TIMBER PAINTWORK/VARNISH FINISHES

- 1 Varnish shall be applied with a minimum of three coats on interior surfaces. On exterior surfaces, varnish must be suitable for the conditions (yacht or high gloss) and applied with a minimum of four coats. Surfaces must be sanded between coats.
- 2 Painted and varnished surfaces shall be even in appearance and free from runs and prominent brush marks.
- 3 Timber surfaces may show limited raised grain, and the colour and texture may also vary.
- 4 Resin is likely to exude from knots, causing discoloration of paintwork, even though modern primers contain a compound to limit this.
- 5 All painted timber surfaces shall be smooth to the touch and finished to a high standard.



Must be inspected

in daylight, from a minimum distance of **2m** and not by shining light on the surface.

TIMBER FINISHES

JOINERY

- 1 Joinery and the materials used shall have no visible defects after the finish has been applied.



TRIM & FINISHES

- 1 When fixing trim and component nails shall be punched below the surface of timber and holes filled.
- Trim and finishes shall be:
- sufficiently wide to mask joints around built in fittings, allowing for movement and shrinkage
 - fixed in accordance with building regulations (e.g. with minimum separation distances where near heat sources)
 - selected and installed to give a neat appearance.





SHRINKAGE

TIMBER PAINTWORK/VARNISH FINISHES

- 1** As homes are lived in and heated, timber and other materials will shrink and this can cause small cracks on the wall and ceiling finishes. Small cracks or gaps may also appear at joints and corners of skirting boards and other interior joinery.
- 2** Gaps between the floor finish and the skirting, and joints at corners may appear due to shrinkage, drying out and/or deflection.
- 3** The effects of normal drying shrinkage on screeded floors may cause minor cracking. Timber floors and staircases naturally shrink as they dry. As this drying occurs, it may result in squeaking components as they move against each other. This is normal and to be expected.



Did you know?

Cracks, up to 2mm (2p coin) wide, may be evident due to thermal movement and shrinkage. These cracks are not structurally significant and can be put right by the home owner in the normal process of redecoration.



CUPBOARDS, WARDROBES, SURFACES & FITTED FURNITURE

- 1** Cupboards and wardrobes (including wall-hung units) shall be:
 - installed ensuring that drawers or doors run smoothly, and locks and catches properly engage
 - securely fixed, using fixings of an appropriate size, and in accordance with the manufacturer's instructions (Generally, plugs and screws to masonry and screws to timber)
 - securely fixed, using the predrilled holes in units and brackets provided by the manufacturer.
- 2** Wardrobes shall be fitted with hanging rails, and intermediate supports used where necessary to avoid bending.
- 3** Cupboards, worktops and fitments shall be plumb, level and scribed to wall faces, where necessary.
- 4** Internal cupboard finishes shall have the same wall finish as the rest of the room.
- 5** Door and drawers shall be uniform.
- 6** Conspicuous surface abrasions caused during installation shall be removed in accordance with the manufacturer's recommendations which may include filling, polishing out, re-spraying or painting as appropriate.
- 7** Fitted furniture, including doors and drawers, shall:
 - be visually aligned (vertically, horizontally and in plan), and there shall not be any differences in level at the intersection of adjacent worktops
 - have uniform gaps between adjacent doors and/or drawers where appropriate
 - have no abrasions or scratches on factory-finished components.



Must be inspected

in daylight from a distance of **0.5m**.

AIRING CUPBOARDS

- 1 Airing cupboards shall be separated from other storage.
- 2 Shelves shall be fitted, if applicable, into airing cupboards and be a min of 0.5m².
- 3 Flooring shall be complete and tidy.

RE-PRESSURISING CYLINDER SYSTEM

- 1 The pressure for the cylinder must be between 1 and 2 bar, as displayed on the pressure gauge. If the pressure drops below 1 bar, then the system will need to be re-pressurised.
- 2 To do this, locate the 'filling loop'. This is the silver coloured flexi-pipe located at the front of the water cylinder.
- 3 At either side of the filling loop, there is either a black tap or an isolator valve.
- 4 Open up both black taps / isolator valves by turning them 90 degrees. Once both black taps / isolator valves are open, the pressure gauge should start to increase.
- 5 Both taps can be closed once the system reaches 1.5 bar. The system is now re-pressurised.
- 6 Please check manufacturer's detail as cylinder type may differ slightly.



FILLING LOOP



PRESSURE GAUGE SET TO 1.5 BAR

AIRING CUPBOARDS

- 1 The boiler shall be fully labelled.
- 2 All pipes shall be neat and insulated.
- 3 The boiler shall be fitted and signed by the installer.



RE-PRESSURISING A COMBI BOILER

- 1 The pressure for a combi boiler must be between 1 and 2 bar, as displayed on the pressure gauge. If the pressure drops below 1 bar then the pressure is too low and must be re-pressurised.
- 2 To do this, there is a blue tap located underneath the boiler. Open a tap by turning it 90 degrees.
- 3 The dial on the pressure gauge will start to increase. Both taps can be closed once the dial reaches 1.5 bar as the system is now re-pressurised.



CERAMIC WALL TILING

- 1 Tiles shall be appropriate for their location and intended use. When specifying tiles, consideration shall be given to surface finish, size and thickness, colour, edge shape, fittings and accessories.
- 2 Tiling courses shall be straight and square and even to form a plane and regular surface, especially around fittings and fixtures.
- 3 Tiling joints shall be even and cut neatly.
- 4 Tiling up to sanitary fittings and fixings shall be in accordance with the design and must account for movement.
- 5 Tiling shall be pre-planned and set out to be aesthetically pleasing, with all tiles aligning or a feature tile well displayed.
- 6 Certain tiles may result in a protruding edge due to their decorative nature.
Correct colour sealant to be used with the appropriate tile option.
Excess grout is to be removed from tiles.



CERAMIC TILING

CERAMIC, CONCRETE, TERRAZZO AND SIMILAR TILE FINISHES

- 1 The variation between tiles and adjacent surfaces shall be within 1mm deviation for joints less than 6mm wide and 2mm deviation for joints more than 6mm wide.
- 2 Joints shall be straight and in alignment, unless the tiles are, by design, irregular in shape.
- 3 Wall tile joints must be a minimum of 1.5mm for ceramic tiles, 2mm for smooth natural stone and 6mm for textured tiles.
- 4 Floor tile joints shall be a minimum of 3mm, unless otherwise specified by the manufacturer.
- 5 Joints in floor tiles shall generally not exceed the tile thickness, although wider joints up to 10mm may be necessary to accommodate dimensional irregularities in some tiles.
- 6 Appropriately designed movement joints shall be: built into tiling at centres at a maximum of 4.5m vertically and horizontally; provided at vertical corners in large tiled areas; 1-2mm where tiles are without spacer lugs.
- 7 Must limit the effect of dimensional irregularities. Joints shall be 'evened out' to maintain a regular appearance.
- 8 The variation in surface level shall be within $\pm 3\text{mm}$ measured using a 2m straight edge with equal offsets.
- 9 Correct colour sealant to be used with appropriate tile option.



MASTIC & SEALING

- 1

Sealant shall be tooled to remove blisters and irregularities and achieve a compact, smooth neat surface finish.
- 2

External masonry wall sealant shall be a minimum of 10mm deep to ensure a good bond.
- 3

Where the joint is in a freestanding wall, the filler will require sealant at:
 - both exposed edges
 - the top, where the joint is carried through any coping.
- 4

Mastic shall be clean and tidy around any windows fitted ensuring end caps are fitted.



Joints must be inspected
in daylight and from a minimum distance of **2m**

DRAINAGE

- 1

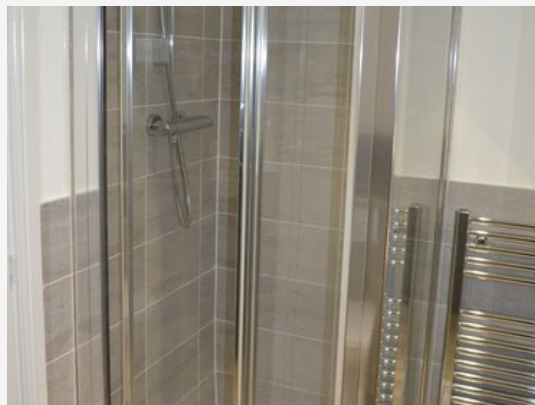
Check that the home is draining effectively by filling the bath, running the shower and flushing the toilet.
- 2

Please note any slow drainage, gurgling or water backing up into showers following this test.



BATHROOM FITTING

- 1 Basin taps and pedestal shall be clean, level or plumb and fixed securely.
- 2 Any entry points of pipes, wastes and fittings shall be sealed and complete to give a tidy finish.
- 3 Shower screen shall be clean, securely fixed to wall and silicone sealant in place.
- 4 Bathroom sanitaryware shall be installed to manufacturers recommendations.
- 5 All pipes shall be capped with collars or a joint sealant finish.



Must be inspected

in daylight at a minimum distance of **0.5m** and not by shining light on the surface.



KITCHEN FITTING

- 1 Kitchen shall be tidy and completed to the standard set by the manufacturers drawings.
- 2 Under-unit lights are working with any cables hidden; ensuring cables above the kitchen unit are also out of sight.
- 3 Pipes and waste fittings are sealed and tidy with under sink shelf in place as shown. Taylor Wimpey standard manufacturers labelling must be attached under the sink.
- 4 Entry point of boiler flue is sealed, complete and pipe work concealed within the boiler housing.
- 5 Worktops are clean, scratch free, level, and undamaged with any joints neatly sealed and tidy.
- 6 Any up stands or tiling are complete to a high standard, sealed and securely fixed to the wall.
- 7 Sink is clean, scratch free and undamaged. The hot and cold water shall be checked and water run to the overflow and tested.
- 8 Doors and drawers shall be securely fitted, clean, undamaged and margins equal throughout the kitchen.
- 9 Plinths fitted shall be clean, scratch free and fitted neatly into corners.
- 10 All white goods shall have commissioning certificates, and will have completed a full cycle run.
- 11 All relevant appliance components are present i.e. oven shelves in oven, salad trays and shelves in fridge.



Must be inspected

in daylight at a minimum distance of **0.5m** and not by shining light on the surface.

ELECTRICAL FINISHES

SMOKE ALARM

- 1 The alarm shall be free of any dust and grime.
- 2 Ensure you test your smoke alarms twice a year.



APPLIANCES

- 1 Check that instructions for all systems and appliances are in the Warranty Box.



FITTINGS

- 1 Where there are two or more adjacent sockets, switch or service outlets, they shall be aligned horizontally.



LOFT

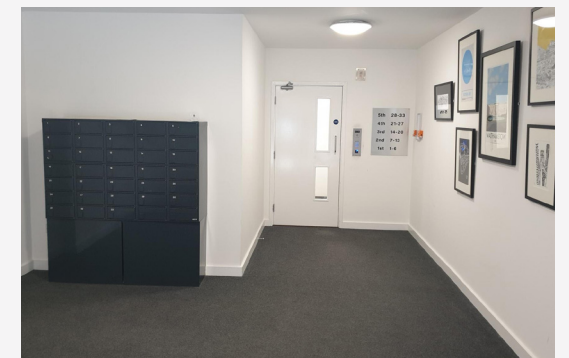
- 1 Insulation is complete and laid evenly across the whole area of the loft with adequate ventilation.
- 2 Ensure TV cables are visible above the loft insulation and are located next to the loft hatch.
- 3 If visible from the loft hatch inspect that fan ducts are connected and complete.
- 4 Roofing felt shall be complete and free from any defects such as tearing and missing sections ensuring adequate ridge ventilation if applicable.
- 5 Air admittance valve (AAV) on the soil vent pipe is securely fastened and present.
- 6 PV inverter – The isolator must be within 1m of the loft hatch.



APARTMENTS

COMMUNAL AREAS

- 1 A Fire Risk Assessments shall be carried out for the communal areas prior to the first occupation.
- 2 The first occupation shall not take place until the following are in working order:
 - Door entry system
 - AOV's
 - Lifts
 - Dry Risers
 - Sprinkler systems
 - Lightening Protection
 - Satellite / Cable aerials
- 3 The first occupation shall not take place until lock signage, directional signage, communal courtyards, post boxes and refuse / recycling bins shall be in place.
- 4 The first occupation shall not take place until the communal lobby and each floor to the flat is fully completed.
- 5 Management Company handover shall take place as soon as practically possible after the first occupation and details of meter readings, fob access etc shall be recorded accurately to allow the transfer of the relevant accounts for services.





TECHNOLOGIES



WWHR
Waste Water
Heat Recovery



Air source
heat pump



Solar
panels

WASTE WATER HEAT RECOVERY

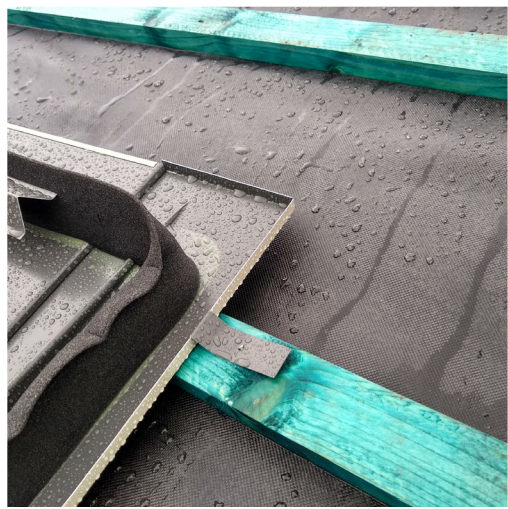
- 1 This property is fitted with a Waste Water Heat Recovery System supplied by Recoup. This system transfers heat energy from your shower water by using it to preheat mains cold water and reduces the energy required to heat the shower resulting in lower CO2 emissions and a decrease in energy bills. There is no planned maintenance for the system as in normal circumstances the flow rate from the shower should prevent the build up of residue. However in the unlikely event of build up, it is recommended to use regular cleaning products or chemical declogging agents. The system comes with a 10 year manufacturers warranty and requires registration direct with Recoup at the following address:

AIR SOURCE HEAT PUMPS



- 1 Air source heat pumps are a low carbon way to provide heat and hot water in a home. Heat pumps use technology like that found in an air conditioner but in reverse, drawing in air and extracting the heat from it. Pipes in the heat pump contain a liquid, known as a refrigerant, which passes over the heat exchange surface. This heat is warm enough to make the refrigerant liquid in the heat pump to turn into a gas which is then moved through a compressor resulting in an increase in pressure and a rise in temperature. The gas, which is now heated, is passed over the internal heat exchange surface and this heat can either be blown around the interior of the home or the heat transferred into a central heating or hot water system.

As the heat is transferred into the home, the gas falls in temperature and returns to a liquid. This cycle of reverse refrigeration repeats until the home reaches the required temperature setting on your thermostat. Heat pumps operate from electricity and therefore eliminate the need for gas boilers, so there is no direct use of fossil fuels in the heating and hot water systems. The only by-product is cold air.



- 1** A visual inspection should take place before the scaffold is stripped to ensure any damages have been rectified.
- 2** The isolator must be within 1m of the loft hatch.
- 3** Please ensure trusses have been designed with loadings from PV panels and any other items such as chimneys included.
- 4** Each panel must come with a fixing design for the correct number of fixings and flashing panel design.
- 5** Preference for PV panels are for integrated or in roof systems rather than mounted panels.

NOTES

[illegible]

